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Michael E. Dupple, P.E.
New Jersey Professional Engineer #042048126

PROJECT LOCATION:
KIDDO CREST REAL ESTATE, LLC
1800 S. BRAND BOULEVARD
SUITE 203
GLENDALE, CA 91204
312.450.2312 (OFFICE)

DESIGNED BY:
MONROE & WASKO ARCHITECTS AND PLANNERS
80 LANSEAT LANE
SUITE 105
LANHARTVILLE, TX 08530
609.357.9009 (OFFICE)

DATE:
LAKELAND SURVEYING
117 HIBERNIA AVENUE
ROCKAWAY, NJ 07866
973.625.5870 (PHONE)
973.625.4122 (FAX)

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DEMOLITION AND REMOVAL NOTES

1. THIS PROJECT REQUIRES A SURVEY PREPARED BY:
LAKELAND SURVEYING
117 HIBERNIA AVENUE
ROCKAWAY, NJ 07866
973.625.5870 (PHONE)
973.625.4122 (FAX)
PROJECT NUMBER: 174190 - DATED: 01/18/2018
2. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
3. IN ADVANCE OF DEMOLITION/REMOVAL WORK, ARRANGE FOR DISCONNECTION OR REROUTING OF UTILITY LINES. IDENTIFY SUCH CANNERS, PLUGGED, SEALED, OR REROUTED LINES ON A RECORD DRAWING.
4. BEFORE COMMENCEMENT OF DEMOLITION, REMOVE ALL GLASS IN WINDOWS, DOORS, SKYLIGHTS, AND FEATURES.
5. PROCEED WITH DEMOLITION/REMOVAL IN A SYSTEMATIC MANNER, FROM TOP OF STRUCTURE TO GROUND. COMPLETE UPPER DEMOLITION/REMOVAL BEFORE DISTURBING LOWER SUPPORTING MEMBERS.
6. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. LOWER HEAVY FRAMING MEMBERS CAREFULLY.
7. BREAK AND REMOVE ON GRADE AND BASEMENT SLABS UNLESS OTHERWISE INDICATED ON THE CONTRACT DRAWINGS.
8. WHENEVER ASPHALT OR CONCRETE PAVEMENT IS REMOVED, THE CONTRACTOR SHALL SAW-CUT AND HEAVILY TRIM THE EDGE OF REMAINING PAVEMENTS BEFORE INSTALLING NEW CONSTRUCTION. ASPHALT PAVEMENT SHALL BE REMOVED TO THE SUBGRADE.
9. WHERE REMOVAL OF CONCRETE CURB IS SHOWN ON THE CONTRACT DRAWINGS, THE REMOVAL LIMITS SHALL BE TO THE NEAREST CURB JOINTS.
10. DEMOLITION USING EXPLOSIVE, INCENDIARY, OR WRECKING BALL METHODS IS PROHIBITED.
11. CONDUCT DEMOLITION/REMOVAL OPERATIONS AND DISPOSAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH THE USE OF, OR ACCESS TO, ADJACENT BUILDINGS OR CONSTRUCTION SITE AREA. DO NOT UNNECESSARILY OBSTRUCT SIDEWALKS OR STREETS.
12. PROVIDE TEMPORARY INTERIOR SHORING, BRACING AND/OR SUPPORT AS REQUIRED ENSURING THAT MOVEMENT OR SETTLEMENT OF STRUCTURES TO BE DEMOLISHED IS SAFELY CONTROLLED AND COLLAPSE IS PREVENTED.
13. USE WATER SPRINKLING, ENCLOSED CHUTES, AND/OR TEMPORARY ENCLOSURES TO LIMIT DUST AND DEBRIS RISING AND SCATTERING IN THE AIR. PROVIDE A WATER TRUCK, WATER LINE, AND HOSES FOR THIS PURPOSE. DO NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBSTRUCTIONABLE CONDITIONS SUCH AS FLOODING OR FLOODING.
14. DO NOT DISTURB SERVICE TO OFF-SITE FIRE HYDRANTS IN ANY WAY WITHOUT WRITTEN APPROVAL OF THE ENGINEER. IF WRITTEN APPROVAL OF THE ENGINEER, WATER SERVICE TO ANY AREA IS DISRUPTED, MAKE PROVISIONS TO ENSURE ADEQUATE FIRE PROTECTION FOR SUCH AREA.
15. AT ALL TIMES, MAINTAIN ACCESSIBILITY FROM THE STREET TO ALL FIRE HYDRANTS, TRAFFIC SIGNALS, POWER OR LIGHT POLES, MAILBOXES, AND SIMILAR UTILITY AND PUBLIC SERVICE ITEMS ADJACENT TO THE CONSTRUCTION SITE. DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR USED AREAS, EXCEPT WHEN AUTHORIZED BY THE ENGINEER. PROVIDE TEMPORARY SERVICES DURING SUCH INTERRUPTIONS AS APPROVED BY THE ENGINEER.
16. DO NOT STORE ANY MATERIALS, RUBBISH, DIRT, DEBRIS, OR WASTE OF ANY SORT RESULTING FROM THE DEMOLITION OPERATIONS ON THE FLOOR OF PARTIALLY DEMOLISHED STRUCTURES OR ADJACENT CONSTRUCTION SITE AREAS.
17. DISPOSE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AWAY FROM THE CONSTRUCTION SITE.
18. DO NOT BURN, BURY, OR OTHERWISE DISPOSE OF DEBRIS, RUBBISH, OR OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
19. STORAGE OR SALE OF ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR IS PROHIBITED AT THE CONSTRUCTION SITE.
20. WHERE THE CONTRACT DRAWINGS INDICATE THE ABANDONMENT OF AN EXISTING PIPE, PLUG BOTH ENDS OF THE PIPE WITH CONCRETE. THE CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI. EACH PLUG SHALL COVER THE FULL CROSS SECTIONAL AREA OF THE PIPE AND ITS THICKNESS SHALL BE ONE-THIRD (1/3) OF THE NOMINAL DIAMETER OF THE PIPE BUT NOT LESS THAN EIGHT (8") INCHES.
21. WHERE A PIPE IS TO BE REMOVED FROM AN EXISTING STRUCTURE, THE REMOVAL OPENING IN THE STRUCTURE SHALL BE FILLED WITH CONCRETE. THE CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI. THE CONCRETE THICKNESS SHALL NOT BE LESS THAN EIGHT (8") INCHES.
22. WHERE THE CONTRACT DRAWINGS INDICATE THE ABANDONMENT OF A MANHOLE OR CATCH BASIN THE CONTRACTOR SHALL:
A. REMOVE THE FRAME AND GRATE OR CASTING.
B. REMOVE THE STRUCTURE TO THREE (3'-0") FEET BELOW THE FINISHED GRADE.
C. PLUG PIPES IN ACCORDANCE WITH NOTES 20 & 21.
D. PUNCH HOLES IN THE BOTTOM OF THE STRUCTURE.
E. FILL THE STRUCTURE WITH 1-1/2 SAND TO FINISHED GRADE IN UNPAVED AREAS OR TO THE BOTTOM OF THE PAVEMENT SECTION IN PAVED AREAS.

GENERAL NOTES

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
3. THE PROPERTY SURVEY IS CONSIDERED A PART OF THESE PLANS.
4. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN RECEIVED.
5. SOLID WASTE TO BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
6. ALL EXCAVATED UNSTABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
8. THE PROPERTY CORNERS MUST BE STAKED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ITEMS AND FEATURES WHICH ARE TO REMAIN WITHIN SHOWN ON THE DRAWINGS OR NOTE.
10. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFEGUARDS INCLUDING THE INSTALLATION OF SHORING, STRUCTURAL SUPPORTS, PROTECTIVE FENCING AND BARRIERS, ETC., AS MAY BE REQUIRED TO PREVENT UNAUTHORIZED ENTRY INTO THE CONSTRUCTION SITE, DAMAGE TO ADJACENT PROPERTY OR INJURY TO PERSONS.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN CONSTRUCTION STAKE-OUT OF ALL BUILDINGS AND SITE IMPROVEMENTS.
12. THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, WATER, SANITARY FACILITIES, LIGHT, POWER, HEAT, TELEPHONE, TRANSPORTATION AND SUPERINTENDENCE FOR TEMPORARY CONSTRUCTION, SERVICES AND FACILITIES OF EVERY NATURE WHATSOEVER NECESSARY TO EXECUTE, COMPLETE AND DELIVER THE WORK WITHIN THE SPECIFIED TIME.
13. THE CONTRACTOR SHALL MAINTAIN AND PROTECT TRAFFIC AS REQUIRED DURING THE COURSE OF CONSTRUCTION IN SUCH A MANNER SATISFACTORY TO THE OWNER'S FIELD REPRESENTATIVE AND ANY OTHER AUTHORITY HAVING JURISDICTION.
14. THE CONTRACTOR SHALL CLEAN UP AND REMOVE ALL REFUSE, RUBBISH, SOIL, MATERIALS, UNDESIRABLE MATERIALS AND DEBRIS CAUSED BY HIS/HER OPERATIONS SO THAT, AT ALL TIMES, THE SETS OF THE WORK SHALL PRESENT A NEAT, ORDERLY AND WORKMANLIKE APPEARANCE.
15. THE CONTRACTOR SHALL AT HIS/HER OWN EXPENSE, REPAIR OR REPLACE ALL GROUND SURFACES, PAVEMENTS, SIDEWALKS, CURBS, ETC., WHICH ARE TO REMAIN AND WHICH MAY BECOME DISTURBED OR DAMAGED DUE TO HIS/HER OPERATION.

NATURAL FEATURES (12B-8.9.D.3)

- a. ALL TOPOGRAPHIC SHOWN IN ONE FOOT INTERVALS. THE ELEVATIONS SHOWN ON THESE PLANS REFER TO NORTH AMERICAN VERTICAL DATUM 1984 (NAVD84).
- b. NO WATERCOURSES, ROCK OUTCROPS, DEPRESSIONS OR PONDS WERE IDENTIFIED AT THE PROPERTY. LISTED EXISTING WOODED AREAS DEPICTED.
- c. NO WETLAND AREAS NOR WETLAND BUFFERS IMPACT THE SUBJECT PROPERTY PER VISUAL SURVEY BY L2A LAND DESIGN, LLC.
- d. THE PROPERTY IS NOT LOCATED IN A FLOODPLAIN, NOR DOES IT INCLUDE ANY LANDS REGULATED BY THE NJ FLOOD HAZARD AREA CONTROL ACT RULES.
- e. AREAS OF PROPERTY WITH A TOPOGRAPHIC SLOPE OF 15% OR GREATER DEPICTED.
- f. ALL TREES EXHIBITING A DIAMETER OF FOUR INCHES OR MORE MEASURED 12 INCHES ABOVE THE GROUND AND ALL TREES PROPOSED TO BE REMOVED DEPICTED.

TREE PRESERVATION ZONE

# OF TREES TO BE REMOVED	# OF TREES TO BE REPLANTED
23 TREES	249 TREES (OK) 1

1. PER § 118A-4 COMPENSATORY PLANTINGS: IN THE EVENT THAT PRESERVATION OF EXISTING TREES WITHIN ANY DESIGNATED TREE PRESERVATION ZONE WHICH WOULD OTHERWISE HAVE BEEN RECOMMENDED TO REMAIN IS IMPOSSIBLE OR IMPRACTICAL, BASED ON THE PROPOSED DEVELOPMENT, COMPENSATORY PLANTINGS SHALL BE REQUIRED FOR EACH LINE TREE WITHIN THE TREE PRESERVATION ZONE. COMPENSATORY PLANTINGS SHALL BE MADE ON A ONE-FOR-ONE BASIS ON THE PROJECT LOT OR PARCELS WITH EACH EXISTING TREE BEING TWO INCHES CALIPER MINIMUM. THE MONTVALE ENVIRONMENTAL COMMISSION WILL REVIEW AND RECOMMEND COMPENSATORY PLANTINGS AS A RESULT OF ACTIONS DESCRIBED IN THIS CHAPTER. NO COMPENSATORY PLANTINGS SHALL BE REQUIRED FOR TREES THAT ARE BEING APPROPRIATELY DESIGNATED FOR REMOVAL BASED UPON THE REVIEW OF THE MONTVALE ENVIRONMENTAL COMMISSION.
2. REFER TO LANDSCAPING PLAN.

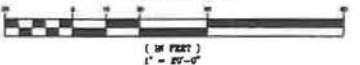
TREE REMOVAL NOTES:

1. PER § 118A-2(a): TREE REMOVAL AS SET FORTH IN THIS ARTICLE SHALL BE PROHIBITED WITHIN THE TREE PRESERVATION ZONE, WHICH IS DEFINED AS THE AREA BETWEEN THE LOT OR PARCELS, PRESERVE PROPERTY LINES AND THE FRONT, SIDE AND REAR BUILDING SETBACK LINES AS ESTABLISHED IN EACH ZONING DISTRICT. NOTWITHSTANDING THE FOREGOING, THE TREE PRESERVATION ZONE SHALL NOT INCLUDE ANY AREA WITHIN FIVE FEET OF THE BOUNDARY OF ANY PRIMARY OR ACCESSORY STRUCTURE ON THE PROPERTY.
2. PER § 118A-2(b): EXCEPT AS MAY BE OTHERWISE SET FORTH IN THIS CHAPTER, AN APPLICANT, DEVELOPER, CONTRACTOR OR OTHER PERSON OR ENTITY SHALL CUT DOWN OR REMOVE TREES OF A CALIPER OF SIX INCHES OR GREATER MEASURED 4.5 FEET ABOVE THE HIGH SIDE OF EXISTING GRADE WITHIN THE TREE PRESERVATION ZONE AS PART OF A SITE PLAN, SUBDIVISION OR BUILDING ADDITION APPLICATION WITHOUT FIRST OBTAINING A TREE REMOVAL PERMIT FROM THE CONSTRUCTION CODE OFFICIAL OR THE REVIEWING BOARD, AS APPROPRIATE TO THE APPLICATION, IN ACCORDANCE WITH THIS ARTICLE.

LEGEND

	TEST PIT LOCATION
	AREAS GREATER THAN 15% SLOPE
	LIMIT OF WOODED AREAS
	REMOVE ASPHALT AREA
	REMOVE CONCRETE/PAVE AREA
	DEMOLISH BUILDING & BUILDING FEATURES
	REMOVE INDIVIDUAL ITEM
	REMOVE/DEMOLISH LINEAR ITEM
	SAWCUT LINE
	EXISTING/PROPOSED BOROUGH OF MONTVALE TREE PRESERVATION ZONE
	EXISTING TREE TO BE REMOVED WITHIN PRESERVATION ZONE

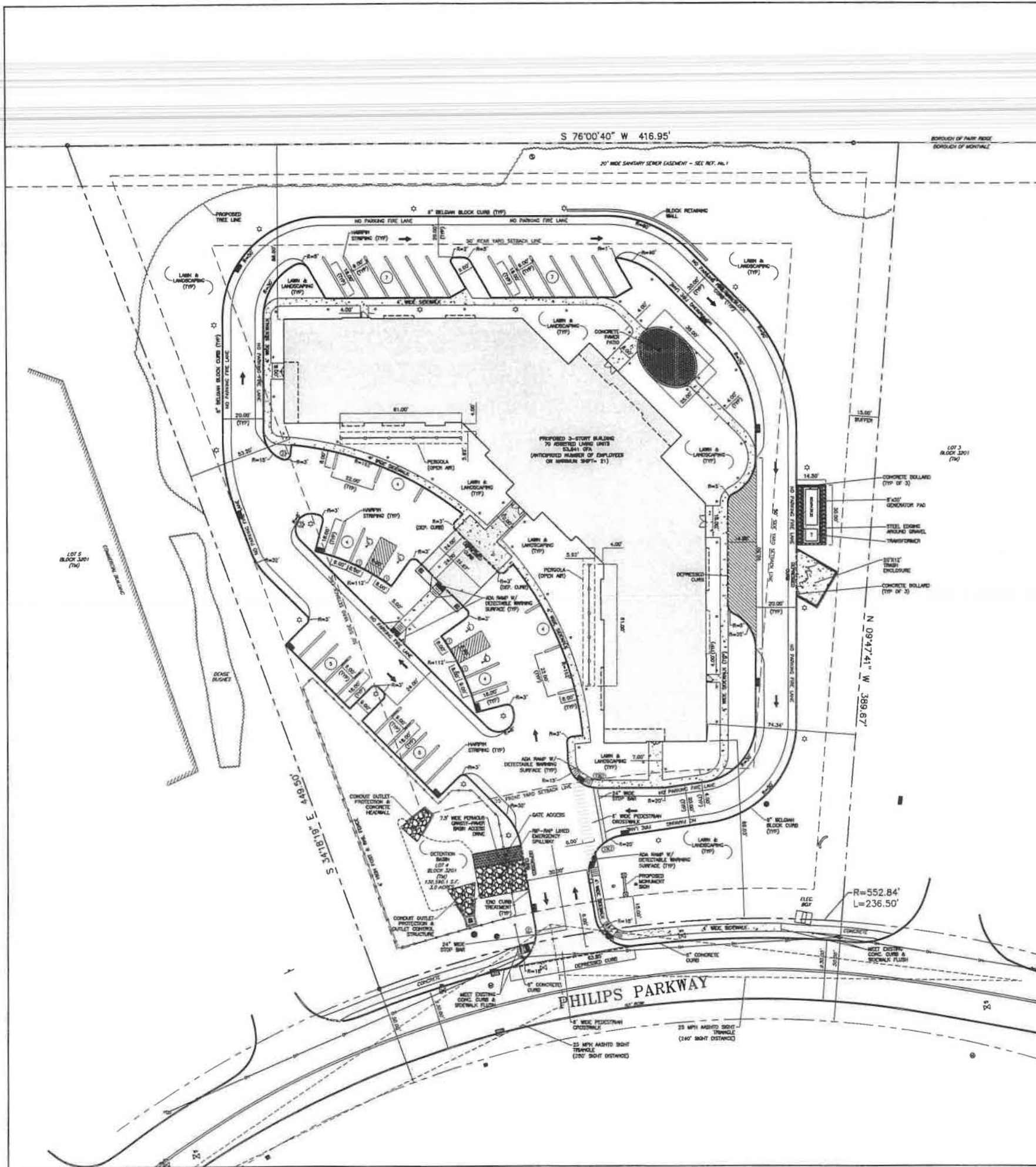
GRAPHIC SCALE



EXISTING CONDITIONS & DEMOLITION PLAN

DATE:	REFER TO PLAN
DATE:	8/18/18
DESIGNED BY:	JDF
APPROVED BY:	MED
DATE PRINTED:	1/20/20
DESIGNER NO.:	C-03

SEE ALSO: 174190-01, 174190-02, 174190-03, 174190-04, 174190-05, 174190-06, 174190-07, 174190-08, 174190-09, 174190-10, 174190-11, 174190-12, 174190-13, 174190-14, 174190-15, 174190-16, 174190-17, 174190-18, 174190-19, 174190-20, 174190-21, 174190-22, 174190-23, 174190-24, 174190-25, 174190-26, 174190-27, 174190-28, 174190-29, 174190-30, 174190-31, 174190-32, 174190-33, 174190-34, 174190-35, 174190-36, 174190-37, 174190-38, 174190-39, 174190-40, 174190-41, 174190-42, 174190-43, 174190-44, 174190-45, 174190-46, 174190-47, 174190-48, 174190-49, 174190-50, 174190-51, 174190-52, 174190-53, 174190-54, 174190-55, 174190-56, 174190-57, 174190-58, 174190-59, 174190-60, 174190-61, 174190-62, 174190-63, 174190-64, 174190-65, 174190-66, 174190-67, 174190-68, 174190-69, 174190-70, 174190-71, 174190-72, 174190-73, 174190-74, 174190-75, 174190-76, 174190-77, 174190-78, 174190-79, 174190-80, 174190-81, 174190-82, 174190-83, 174190-84, 174190-85, 174190-86, 174190-87, 174190-88, 174190-89, 174190-90, 174190-91, 174190-92, 174190-93, 174190-94, 174190-95, 174190-96, 174190-97, 174190-98, 174190-99, 174190-100.



ZONING

- THIS PROJECT REFERENCE A SURVEY PREPARED BY:
LAKELAND SURVEYING
117 HIBERNIA AVENUE, ROCKAWAY, NJ 07866
PROJECT NO. 174136 - DATED: 01/18/2018
9/3.6/3.6/3.6/3.6 (100%) - 971.825.4121 (FAX)
- EXISTING USE: MEDICAL OFFICE BUILDING
- PROPOSED USE: ASSISTED LIVING FACILITY
- LOT AREA: 138,900.11 SF (3.1979 ACRES)
- PROPERTY LOCATION: BLOCK 3201, LOT 4
- EDGE: OFFICE AND RESIDENTIAL USES (LUR-1), LUNDONAL USE: ASSISTED LIVING RESIDENCES
- PROPERTY ADDRESS: 21 PHILIPS PARKWAY, MONTVALE, NJ 07045

BULK REQUIREMENTS (CHAPTER 128, ATTACHMENT 13 (OR-4 - OFFICE AND RESEARCH DISTRICT)) CONDITIONAL USE: ASSISTED LIVING RESIDENCES	PERMITTED	EXISTING	PROPOSED	VARIANCE REQUIRED
MINIMUM LOT AREA (ACRES)	10 ACRES	2.9979 ACRES	2.9979 ACRES	YES
MINIMUM LOT WIDTH (FT)	100 FT	272.74 FT	272.74 FT	NO
MINIMUM FRONT YARD SETBACK (FT)	75 FT	113.86 FT	89.03 FT	NO
MINIMUM SIDE YARD SETBACK (FT)	50 FT	39.33 FT	53.20 FT	NO
MINIMUM COMBINED SIDE YARD SETBACK (FT)	100 FT	143.04 FT	127.54 FT	NO
MINIMUM REAR YARD SETBACK (FT)	50 FT	113.86 FT	86.50 FT	NO
MINIMUM LOT COVERAGE (%)	50%	31.18%	47.85%	NO
FLOOR AREA RATIO	0.35	0.14	0.41	YES
MAXIMUM BUILDING HEIGHT (FT, STORIES) ⁽¹⁾	50 FT, 3 STORIES	24.33 FT, 3 STORIES	45.72 FT, 3 STORIES	NO

- THE VERTICAL DISTANCE BETWEEN THE AVERAGE GROUND ELEVATION OF THE BUILDING AND THE ELEVATION OF THE HIGHEST POINT OF THE BUILDING TO THE ROOF IS 14.00', IN THE CASE OF SLOPING ROOFS, TO A POINT 1/2 THE DISTANCE BETWEEN THE RAFTER PLATE AND THE UPPERMOST POINT OF THE ROOF, INCLUSIVE OF ANY PARAPET, STRUCTURE, APPARATUS OR EQUIPMENT LOCATED ON TOP OF THE ROOF, EXCEPT AS PERMITTED FOR § 128-4.3.3, FOR PURPOSES HEREIN, "GROUND ELEVATION" SHALL MEAN THE ELEVATION OF THE PROPERTY IN ITS UNDEVELOPED STATE OR, IF A NEW ELEVATION HAS BEEN APPROVED BY THE PLANNING BOARD OR BOARD OF ADJUSTMENT IN CONNECTION WITH AN APPLICATION FOR DEVELOPMENT, SUCH NEW ELEVATION.
BUILDING HEIGHT CALCULATION:
AVERAGE GROUND ELEVATION = $(299+288+332+302.4+300+300.5+300.5+300.2+300.5) / 10 = 300.31'$
BUILDING ELEVATION = $300.31' + 14.00' = 314.31'$
BUILDING HEIGHT = $314.31' - 300.31' = 14.00'$ (COMPLIES)
- ASSISTED LIVING RESIDENCES SHALL BE PERMITTED IN THE OR-4 OR OR-4 DISTRICT, PROVIDED THAT A MINIMUM OF 15% OF THE UNITS ARE RESERVED FOR MEDICALLY ELIGIBLE PERSONS SUCH THAT THEY WILL QUALIFY AS AFFORDABLE UNITS FOR THE PURPOSES OF THE BOROUGH OF MONTVALE'S HOUSING PLANNING AND FAIR SHARE PLAN. PROPOSED UNIT COUNT: 70 UNITS (91 BEDS) TOTAL WITH AN AFFORDABLE BED COUNT OF 7. (COMPLIES)
- PRIMARY ACCESS SHALL BE ACHIEVED FROM A ROAD UNDER THE JURISDICTION OF BERGEN COUNTY. (VARIANCE)
- BUILDING EXTENSIONS SHALL HAVE VERTICAL AND/OR HORIZONTAL OFFSETS AND VARIATIONS OF CONSTRUCTION MATERIALS TO CREATE VISUAL BREAKS ON THE EXTERIOR. (COMPLIES)
- THERE SHALL BE PROVIDED A SAFE AND CONVENIENT SYSTEM OF SIDEWALKS, ACCESSIBLE TO ALL OCCUPANTS. DUE CONSIDERATION SHOULD BE GIVEN TO PLANNING WALKS, PATHS, AND RAMPS TO PREVENT SLIPPING OR STUMBLING. HANDRAILS AND AMBLE SPACE FOR REST SHALL BE PROVIDED. ALL WALKS, PATHS AND RISERS SHALL BE DESIGNED ACCORDING TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). (COMPLIES)
- A BUFFER AREA AS DEFINED IN § 128-4.3.1, WHICH SHALL BE NO LESS THAN 15 FEET IN WIDTH FROM ALL EXTERNAL PROPERTY LINES OF THE SITE. (COMPLIES)
- MAXIMUM 15 UNITS PER ACRE: 138,900.11 SF = 3.1979 ACRES, THEREFORE 70 UNITS / 3.1979 ACRES = 21.91 UNITS/ACRE. (COMPLIES)
- NO FRONT YARD PARKING AREAS OR ACCESS DRIVES SHALL BE LOCATED CLOSER THAN 75 FEET TO THE FRONT PROPERTY LINE. (VARIANCE)

PARKING TABLE

BULK REQUIREMENT	CALCULATION	REQUIRED	PROPOSED	VARIANCE REQUIRED
CONDITIONAL USE (ASSISTED LIVING) 1 UNIT = 0.5 SPACE	70 UNITS x 0.5 SPACE PER UNIT = 35 SPACES	35 SPACES	41 SPACES	NO

SIGNAGE TABLE

TYPE & LOCATION	DESCRIPTION	PERMITTED	PROPOSED	VARIANCE
PRIMARY MONUMENT SIGN	THE MANOR AT MONTVALE (REFER TO SHEET #1 OF ARCHITECTURAL PLANS)	MAX. NUMBER OF SIGNS = 1 MAX. AREA = 32 SF MAX. HEIGHT = 6 FT MAX. WIDTH = 12 FT MAX. COLORS = 2 ⁽¹⁾	1 SIGN AREA = 31.74 SF ⁽¹⁾ HEIGHT = 4.33 FT WIDTH = 7.33 FT 3 COLORS (1/2 GOLD & BLACK (WHITE BACKGROUND))	NO NO NO NO NO

- PER § 128-4.3.4.3, NO SIGN SHALL HAVE MORE THAN TWO COLORS, INCLUDING ITS BACKGROUND, FRAME AND DECORATIVE PARTS. FOR THE PURPOSES OF THIS ORDINANCE, BLACK AND WHITE SHALL BE CONSIDERED COLORS. NOTWITHSTANDING ANYTHING HEREIN TO THE CONTRARY, IN SUCH INSTANCE WHERE BLACK OR WHITE SHALL BE USED IN THE FORMATION OF A SIGN AS AFORESAID, THEN IN SUCH INSTANCE EITHER OF SUCH MAY BE USED AS A THIRD COLOR.
- THE SIGN AREA CALCULATION EXCLUDES THE FACE AREA OF THE CULTURED STONE COLUMN, STONE CAPS AND STONE BASE. THE DIMENSIONS USED IN THE SIGN AREA CALCULATION HAVE BEEN PROVIDED ABOVE AND LABELED ON THE ARCHITECTURAL PLANS.

DIRECTIONAL SIGNAGE TABLE

DESIGNATION No.	SIGN CONTENT	MUTCO STANDARD No.	SIZE	COLOR	MOUNTING TYPE
1	NO PARKING	R7-8	12"x18"	WHITE BACKGROUND BLUE AND BLACK CHARACTERS	POLE MOUNTED GROUND MOUNTED
2	NO PARKING	R7-8a (MOD)	12"x6" 18"x18"	WHITE BACKGROUND BLUE AND BLACK CHARACTERS	POLE MOUNTED GROUND MOUNTED
3	NO PARKING	R1-1	30"x30"	RED BACKGROUND WHITE CHARACTERS	POLE MOUNTED GROUND MOUNTED
		RS-1	30"x30" OR 18"x18"	RED BACKGROUND WHITE CHARACTERS	POLE MOUNTED GROUND MOUNTED

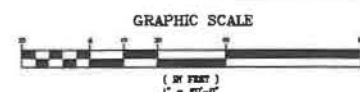
COVERAGE TABLE

	BUILDING COVERAGE	CONCRETE AREA	ASPHALT AREA	PERVIOUS COVERAGE
EXISTING CONDITIONS	18,605 SF	3,910 SF	29,037 SF	79,633 SF
PROPOSED CONDITIONS	20,398 SF	5,219 SF ⁽¹⁾	36,535 SF	68,418 SF
NET CHANGE	1,793 SF (INCREASE)	1,309 SF (INCREASE)	7,502 SF (INCREASE)	10,995 SF (DECREASE)

- THE CONCRETE AREA UNDER PROPOSED CONDITIONS INCLUDES CONCRETE SIDEWALKS, RETAINING WALLS, AND ALL GRAVEL SURFACES WITH THE EXCEPTION OF THE ASPHALT PAVES AND THE GRASSY PAVED ACCESS DRIVE.

AS A CONDITION OF FINAL APPROVAL, THE OWNER AGREES THAT THE PROVISIONS OF SUBTITLE ONE, TITLE 39 OF THE REVISED STATUTES OF NEW JERSEY ARE ENFORCEABLE ON ALL DRIVEWAYS, ACCESS AISLES, LOADING AREAS & PARKING LOTS WITHIN THE SITE.

LEGEND	
	PROPOSED BUILDING
	PROPOSED CONCRETE AREA
	PROPOSED BRICK PAVERS
	PROPOSED CLUB
	PROPOSED DEPRESSED CURB
	PROPOSED TREE LINE
	PROPOSED DIRECTIONAL SIGN



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60 GRAND AVENUE
ROCKAWAY, NJ 07866
201.227.8300 • 201.227.8001 (FAX)
www.l2alandscape.com
New Jersey Certificate of Professional Registration No. 240000000000

Michael E. Dwyer, P.E.
3/4/20
New Jersey Professional Engineer #400000000000

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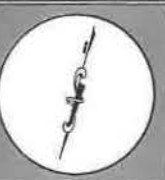
CLIENT/OWNER:
HUNDO & WAXED ARCHITECTS AND
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971.625.4121 (FAX)

DATE	REVISION	BY	DATE	REVISION	BY
7/25/18	1	MD	7/25/18	1	MD
8/1/18	2	MD	8/1/18	2	MD
8/1/18	3	MD	8/1/18	3	MD
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8/1/18	100	MD	8/1/18	100	MD

PROPOSAL/PROJECT:
THE MANOR AT MONTVALE
21 PHILIPS PARKWAY
BOROUGH OF MONTVALE
BERGEN COUNTY, NEW JERSEY

BLOCK 3201, LOT 4
TAX MAP 32



SEE SHEET TITLE:

SITE PLAN

SCALE:	REFER TO PLAN
DATE:	6/18/18
DESIGNED:	JDF
APPROVED:	MD
DATE PREP:	1701.120
DRAWING NO.:	C-04

130 LAKELAND, LLC - ALL RIGHTS RESERVED
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[Signature]
3/17/18

Michael E. Dipple, P.E.
New Jersey Professional Engineer #C452401108

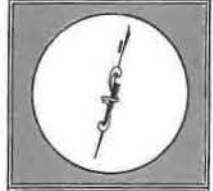
PROJECT LOCATION:
KIDCO CREST REAL ESTATE, LLC
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PREPARED BY:
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973.625.4121 (FAX)

DATE	REVISION	DESCRIPTION
7/17/18	1	REVISED PER BOROUGH ENGINEER COMMENTS DATED 7/17/18
9/12/18	2	REVISED PER BOROUGH ENGINEER COMMENTS DATED 9/12/18
11/16/18	3	REVISED PER BOROUGH ENGINEER COMMENTS DATED 11/16/18
1/17/19	4	REVISED PER BOROUGH ENGINEER COMMENTS DATED 1/17/19
3/17/19	5	REVISED PER BOROUGH ENGINEER COMMENTS DATED 3/17/19

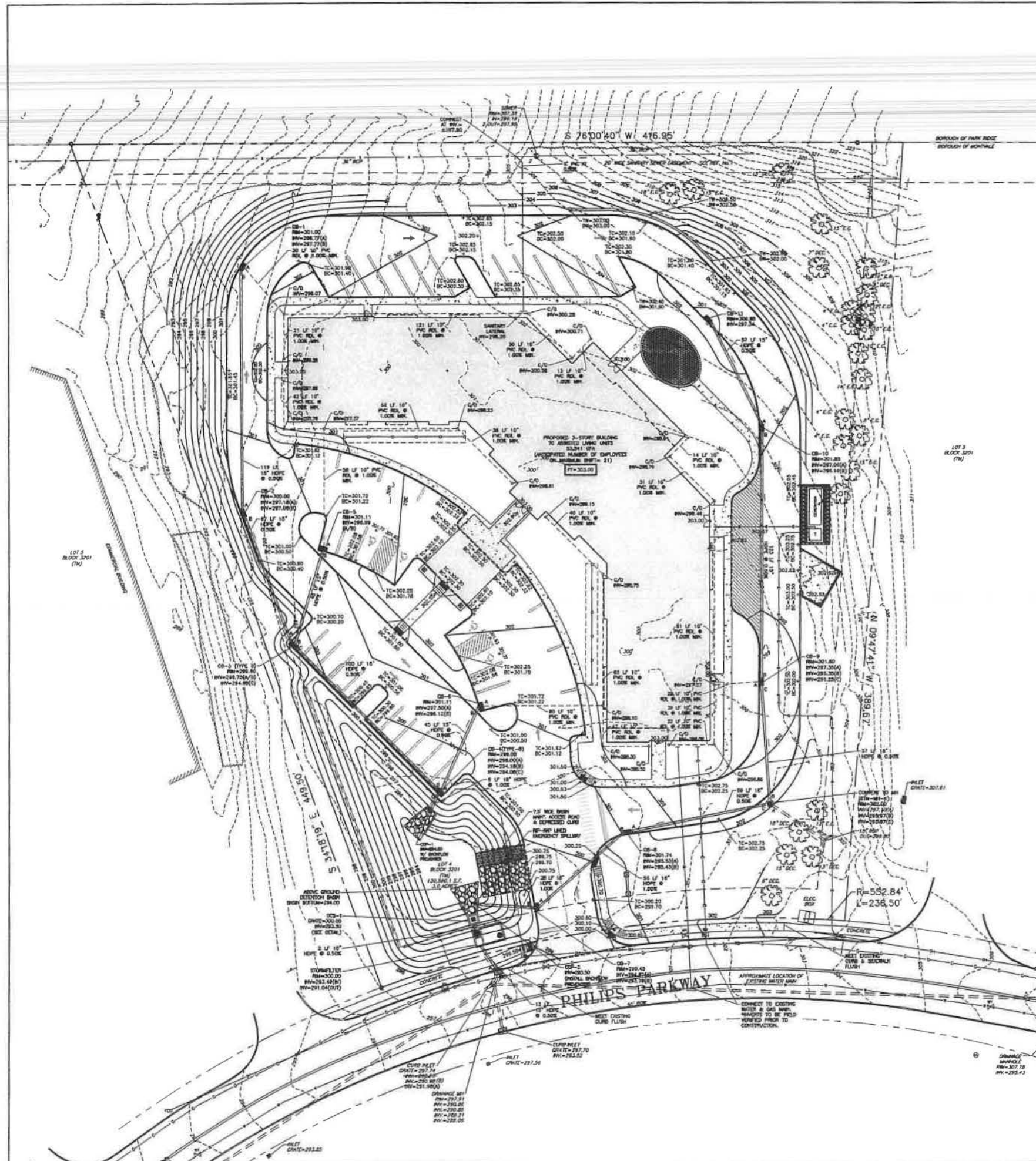
PROJECT LOCATION:
THE MANOR AT MONTVALE
21 PHILIPS PARKWAY
BOROUGH OF MONTVALE
BERGEN COUNTY, NEW JERSEY
BLOCK 3201, LOT 4
TAX MAP: 32



**GRADING, DRAINAGE
& UTILITY PLAN**

SCALE:	REFER TO PLAN
DATE:	6/18/18
DESIGNED BY:	JDF
CHECKED BY:	MD
DATE PREPARED:	1/10/18

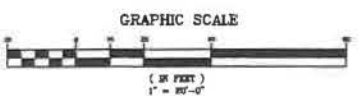
C-05



- GRADING, EXCAVATION, AND BACKFILLING NOTES:**
- THE ELEVATIONS SHOWN ON THESE PLANS REFER TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD83).
 - THE CONTRACTOR SHALL PREVENT WATER FROM ENTERING EXCAVATED AREA AND MAINTAIN A DRY CONDITION AT ALL TIMES.
 - DO NOT PLACE FILL OR BACKFILL ON FROZEN SUBGRADE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE SOIL MATERIAL. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 1" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% CUTTER GRADE ALONG CURB FACE.
 - ALL CURB INLETS SHALL BE TYPE "D" UNLESS OTHERWISE STATED ON THE PLANS.

- UTILITY NOTES**
- CONTRACTOR SHALL INSPECT, PROVIDE A CLEANING AND CCTV SERVICE TO DETERMINE THE CONDITIONS OF THE EXISTING 18" RCP LOCATED ON THE NORTH WEST CORNER OF THE PROPERTY. A REPORT OF THE SERVICE SHALL BE PROVIDED TO THE BOROUGH ENGINEER PRIOR TO CONSTRUCTION.
 - LOCATION OF ELECTRIC AND COMMUNICATION SERVICES IS APPROXIMATE AND MUST BE CONFIRMED BY SERVICE PROVIDER. LOCATIONS OF TRANSFORMERS, PULL BOXES, ETC., AS WELL AS CONSTRUCTION SPECIFICATIONS TO BE DETERMINED AT PRE-CONSTRUCTION MEETING WITH UTILITY PROVIDER.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL THE 811 ONE CALL CENTER A MINIMUM OF 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
 - LOCATION OF EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATIONS INDEPENDENTLY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY SHOULD DISCREPANCIES EXIST.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF UTILITY CONNECTIONS TO BUILDINGS. SHOULD ANY DISCREPANCIES EXIST, THE ARCHITECTURAL PLANS SHALL GOVERN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY SHOULD DISCREPANCIES IN UTILITY SERVICES EXIST.
 - SHOULD INTERFERENCE BETWEEN UTILITIES BE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
 - WHERE SHOWN ON THE CONTRACT DRAWINGS, ADJUST THE CASTINGS OF EXISTING CATCH BASINS, MANHOLES AND VALVE BOXES TO FINISHED GRADE OF NEW PAVEMENT.
 - CIRCULAR REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE STATED ON THE CONTRACT DRAWINGS. (ASTM C-76, ASTM C-443, AASHTO M-170).
 - WHERE CONNECTIONS TO EXISTING DRAINAGE OR SANITARY STRUCTURES ARE REQUIRED, CUT NEATLY WITHOUT PERCUSSION INTO THE EXISTING STRUCTURE. THE MAXIMUM SIZE OF THE OPENING SHALL NOT EXCEED THE PIPE'S OUTER DIAMETER PLUS THREE (3) INCHES. CONNECT THE NEW PIPE AND SEAL AROUND IT WITH SQUIBLEX-SC OR APPROVED EQUAL.
 - PORTLAND CEMENT CONCRETE SHALL BE CLASS B, 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI, AIR-ENTRAINED UNLESS OTHERWISE NOTED. ALL EXISTING UTILITIES SHALL BE ADJUSTED TO FINAL GRADE IN ACCORDANCE WITH CURRENT TOWN-OF-MONTVALE REQUIREMENTS AND PRACTICES.
 - THE ROADWAY AND CURBING MARK-OUTS MUST BE ESTABLISHED PRIOR TO THE INSTALLATION OF NEW UTILITIES.
 - DUCTILE IRON CEMENT PIPE SHALL BE CLASS 52 FOR DIAMETERS FOUR (4) INCHES AND LARGER.
 - STORM DRAIN PIPES SHALL BE REINFORCED CONCRETE PIPE IN ALL CASES AND SHALL BE OF THE SIZE SPECIFIED AND LAID TO THE EXACT LINES AND GRADES APPROVED BY THE ENGINEER.
 - REINFORCED CONCRETE PIPE SHALL CONFORM TO A.S.T.M. SPECIFICATIONS C76.
 - ALL PIPES SHALL BE CLASS III STRENGTH EXCEPT WHERE STRONGER PIPE IS REQUIRED AND INDICATED ON THE PLANS.
 - JOINTS SHALL BE MADE WITH O-RING RUBBER GASKETS.

LEGEND	
	PROPOSED CONTOUR LINE
	PROPOSED SPOT ELEVATION
	PROPOSED MANHOLE
	PROPOSED STORM INLET
	PROPOSED STORM LINE
	PROPOSED ROOF DRAIN LEADER (RDL)
	PROPOSED ELECTRICAL LINE
	PROPOSED WATER LINE
	PROPOSED SANITARY LINE
	PROPOSED GAS LINE



LIMIT OF DISTURBANCE = 110,835 SF (2.54 Acres)

SOIL STABILIZATION AND MAINTENANCE NOTES:

1. TEMPORARY SEEDING AND MULCHING:
 - A. TOPSOIL: UNIFORM APPLICATION TO A MINIMUM DEPTH OF 4". FIRMED IN PLACE.
 - B. FERTILIZER: 11 LBS./1,000 SF AT 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL TO A MINIMUM OF 4" DEPTH.
 - C. SEED: PERMANENT RYEGRASS 40 LBS./ACRE (2.0 LBS./1,000 SF) OR OTHER APPROVED SEEDS. PLANT BETWEEN MARCH 1ST AND MAY 15TH OR BETWEEN AUGUST 1ST AND OCTOBER 1ST.
 - D. MULCH: MULCH MAY BE SMALL LEAFED LIGNUM AT A RATE OF 70 LBS. TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS SUCH AS PEG & TWINE, MULCH NETTING, OR LIQUID MULCH BINDER.
2. PERMANENT SEEDING AND MULCHING:
 - A. TOPSOIL: UNIFORM APPLICATION TO A MINIMUM DEPTH OF 4". FIRMED IN PLACE.
 - B. FERTILIZER: 11 LBS./1,000 SF AT 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL TO A MINIMUM OF 4" DEPTH.
 - C. SEED: TURF TYPE TALL FESCUE (BLENDED OF THREE CULTIVARS) 50 LBS./ACRE (2.5 LBS./1,000 SF) OR OTHER APPROVED SEEDS. PLANT BETWEEN MARCH 1ST AND MAY 15TH OR BETWEEN AUGUST 1ST AND OCTOBER 1ST.
 - D. MULCH: MULCH MAY BE SMALL LEAFED LIGNUM AT A RATE OF 70 LBS. TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS SUCH AS PEG & TWINE, MULCH NETTING, OR LIQUID MULCH BINDER.
3. STABILIZATION WITH MULCH ONLY:
 - A. APPLICABLE IN AREAS SUBJECT TO EROSION WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION-RESISTANT COVER OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED.
4. SITE PREPARATION:
 - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR APPLYING AND ANCHORING MULCH. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR LAND GRADING.
 - B. EROSION CONTROL MEASURES SUCH AS SEDIMENTATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASIN AND WATERWAYS FOR THE NEW JERSEY STANDARDS.
5. PROTECTIVE MATERIALS:
 - A. UNROLL SMALL-GRAIN STRAW OR HAY AT 2.5 TONS PER ACRE AND SPREAD UNIFORMLY AT 80 LBS. TO 115 LBS./1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDER, OR A NETTING-TYPE-OWN, OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - B. ASPHALT EMULSION IS RECOMMENDED AT THE RATE OF 500 GAL. TO 1,300 GAL./ACRE. THIS IS SUITABLE FOR A LIMITED PERIOD OF TIME WHEN TRAVEL BY PEOPLE, ANIMALS OR MACHINES IS NOT A PROBLEM.
 - C. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - D. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 3,500 LBS./ACRE OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS MAY BE APPLIED BY A HYDROSEEDER.
 - E. MULCH NETTING, SUCH AS PAPER JUTE, ENCELON, COTTON OR PLASTIC MAY BE USED.
 - F. WOOD CHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2" MAY BE USED. WOOD CHIPS SHALL NOT BE USED ON AREAS WHERE FLOWING WATER CAN WASH THEM INTO AN INLET AND CLOG IT.
6. MULCH ANCHORING:
 - A. SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS SHALL BE DONE BY ONE OF THE FOLLOWING METHODS DEPENDING UPON THE SIZE OF THE AREA AND SLOPE STEEPNESS:
 - B. PEG AND TWINE: DRIVE 8" TO 16" INCH WOODEN PEGS TO WITHIN 2" TO 3" INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STRAWS MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISTOCROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - C. MULCH NETTING: STAPLE PAPER, COTTON OR PLASTIC NETTING OVER MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.
 - D. CRIMPER MULCH ANCHORING TOOL: A TRACTOR DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL BUT ITS USE IS LIMITED TO THOSE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. SOIL PENETRATION SHOULD BE ABOUT 3" TO 4" INCHES. ON SLOPING LAND, THE OPERATION SHOULD BE ON THE CONTOUR.
 - E. LIQUID-MULCH BINDERS:
 - APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS AND AT CRESTS OF BANKS. REPAIRWORK OF AREA SHOULD BE UNIFORM IN APPEARANCE.
 - USE OF ONE OF THE FOLLOWING:
 - CRUSHED ASPHALT: (SS-1, SS-2, SS-3, SS-4, SS-5, SS-6 AND SS-7) APPLY 0.04 GAL./SF OR 154 GAL./ACRE ON FLAT AREAS AND ON SLOPES LESS THAN 6 FEET OR MORE HIGH, USE 0.075 GAL./SF OR 263 GAL./ACRE. THESE MATERIALS MAY BE DIFFICULT TO APPLY UNIFORMLY AND WILL DISCOLOR SURFACES.
 - ORGANIC AND VEGETABLE BASED BINDERS: NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER, FORMULATED AS A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF DISSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOLOGIC EFFECT OR IMPEDING GROWTH OF TURFGRASS VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.
 - SYNTHETIC BINDERS: HIGH POLYMER SYNTHETIC EMULSION, MIXABLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPENSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

BERGEN COUNTY SCD SOIL EROSION AND SEDIMENT CONTROL NOTES:

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS) AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH UNLIMITED STRAW AT A RATE OF 2 TONS PER ACRE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE ON ROUGH GRADING, ALL EXISTING AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN CONJUNCTION WITH STRAW, MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
4. STABILIZATION SPECIFICATIONS:
 - A. TEMPORARY SEEDING AND MULCHING:
 - GROUND LIME/STONE: APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
 - FERTILIZER: APPLY 11 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL TO A MINIMUM OF 4".
 - SEED: PERMANENT RYEGRASS 40 LBS./ACRE (2.0 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1ST AND MAY 15TH OR BETWEEN AUGUST 1ST AND OCTOBER 1ST.
 - MULCH: UNLIMITED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 - B. PERMANENT SEEDING AND MULCHING:
 - GROUND LIME/STONE: APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
 - FERTILIZER: APPLY 11 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL TO A MINIMUM OF 4".
 - SEED: TURF TYPE TALL FESCUE (BLENDED OF THREE CULTIVARS) 50 LBS./ACRE (2.5 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1ST AND MAY 15TH OR BETWEEN AUGUST 1ST AND OCTOBER 1ST.
 - MULCH: UNLIMITED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
5. THE SITE SHALL BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS CONVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
6. SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
7. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY, OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A WAFFLE SEDIMENT BARRIER OR SILT FENCE.
8. A CRUSHED STONE, VEHICLE WHEEL-CLEAVING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 2 1/4" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
9. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
10. DRIVEWAYS MUST BE STABILIZED WITH 1" - 2 1/4" CRUSHED STONE OR SUBGRADE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
11. ALL SOIL WASHED, CROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADSWAYS MUST BE KEPT CLEAN AT ALL TIMES.
12. CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER (DESIGNED IN ACCORDANCE WITH SECTION 28-1.1 OF THE NJ STANDARDS).
13. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
14. DRAINAGE OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BASIN OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
16. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1.1 OF THE NJ STANDARDS.
17. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
18. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
19. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
20. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
21. THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIREMENTS AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORT OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.
22. THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING AND REMEDIATION AS IT IS LOCATED IN AN URBAN REDEVELOPMENT AREA.

SEQUENCE OF CONSTRUCTION

1. INSTALL PERIMETER SILT FENCE, CONSTRUCTION FENCE, INLET FILTERS, STABILIZED CONSTRUCTION ENTRANCE AND ALL OTHER SOIL EROSION & SEDIMENT CONTROL MEASURES. (1 WEEK)
2. DEMOLISH EXISTING SITE FEATURES AND OTHER STRUCTURES. THEN CLEAR AND ROUGH GRADE THE SITE FOR BUILDINGS, PARKING LOT, STORMWATER BASIN, AND OTHER STRUCTURES REQUIRING EXCAVATION. (1 MONTH)
3. INSTALL AND MAINTAIN TEMPORARY SEEDING & MULCHING IN ALL DISTURBED AREAS UNTIL PERMANENT VEGETATION IS COMPLETED. (1 WEEK)
4. INSTALL STORMWATER BASIN AND INLET PROTECTION. (1 WEEK)
5. EXCAVATE FOR BUILDING FOUNDATIONS AND COMMENCE BUILDING CONSTRUCTION. (1-12 MONTHS)
6. INITIAL COMING AND PERFORM FINAL GRADING OF THE SITE. (1 WEEKS)
7. INSTALL PAVEMENT BASE COURSES. (1 WEEK)
8. INSTALL FINISHED PAVEMENT COURSES AND CONCRETE PAVEMENT. (2 WEEKS)
9. UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 2", MINIMUM OF 4", FIRMED IN PLACE. (1 WEEK)
10. INSTALL LANDSCAPING AND PERMANENTLY STABILIZE ALL DISTURBED AREAS. (1 WEEK)
11. REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL, STABILIZATION MEASURES. (1 WEEK)

LEGEND	
	STABILIZED CONSTRUCTION ENTRANCE
	INLET FILTER
	LIMIT OF DISTURBANCE
	SUPER SILT FENCE



Michael E. Dipple, P.E.
New Jersey Professional Engineer #240848100

BERGEN COUNTY
KIDGE CREST REAL ESTATE, LLC
1800 S. BRAND BOULEVARD
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HINDO & WASKO ARCHITECTS AND PLANNERS
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SUITE 105
LANCASTERVILLE, NJ 08130
609.397.9009 (OFFICE)

LAND SURVEYING
117 HERRING AVENUE
ROCKAWAY, NJ 07866
973.625.5670 (PHONE)
973.625.4122 (FAX)

DATE	REVISION	BY	CHKD
7/25/18	1	MD	MD
8/1/18	2	MD	MD
8/1/18	3	MD	MD
8/1/18	4	MD	MD
8/1/18	5	MD	MD
8/1/18	6	MD	MD
8/1/18	7	MD	MD
8/1/18	8	MD	MD
8/1/18	9	MD	MD
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8/1/18	26	MD	MD
8/1/18	27	MD	MD
8/1/18	28	MD	MD
8/1/18	29	MD	MD
8/1/18	30	MD	MD

PROJECT LOCATION
21 PHELPS PARKWAY
BOROUGH OF MONTVALE
BERGEN COUNTY, NEW JERSEY

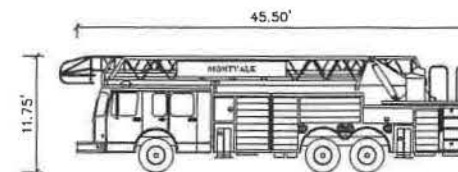
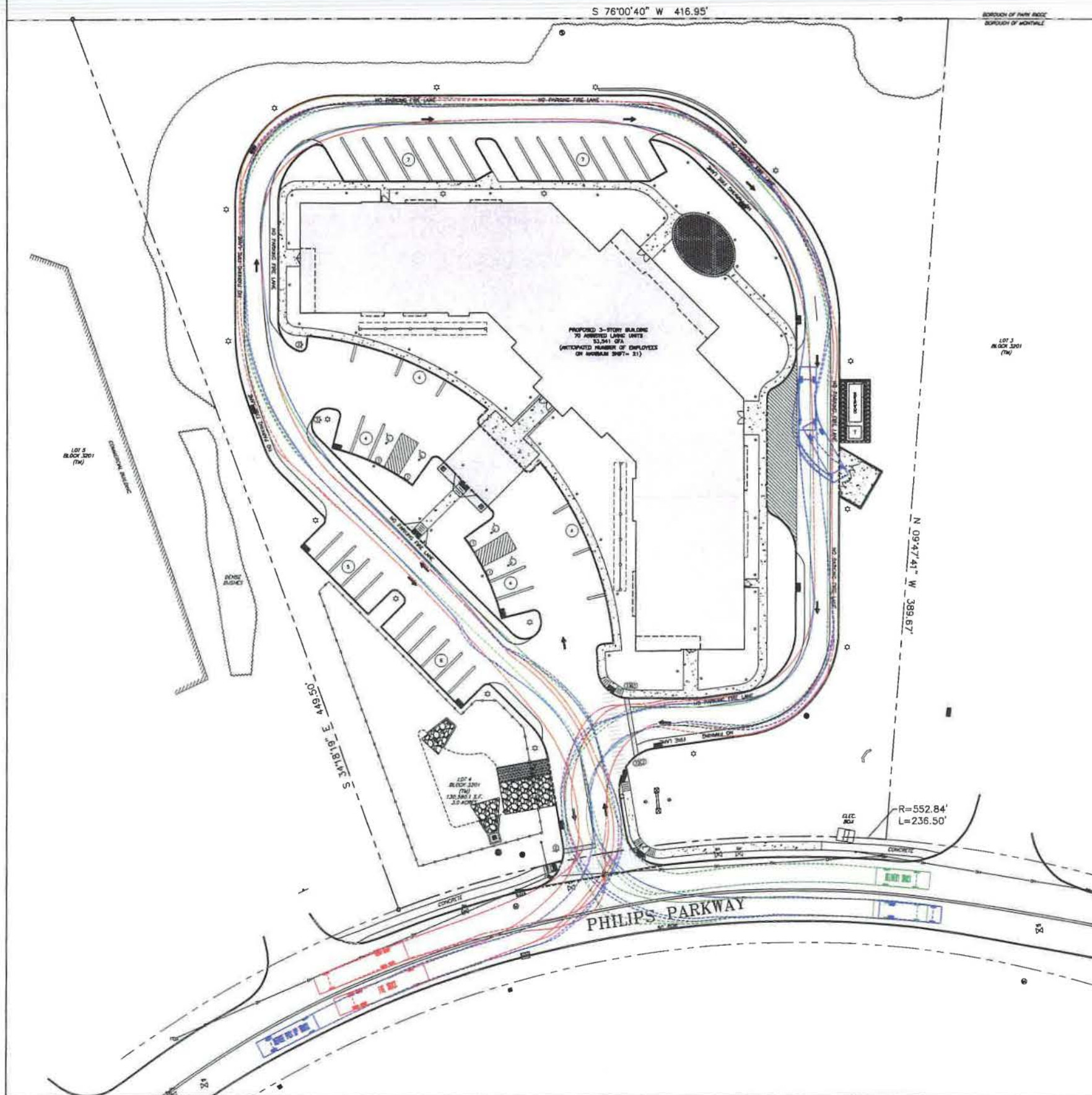
BLOCK 222, LOT 4
TAX MAP: 32



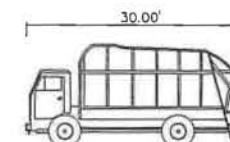
SOIL EROSION & SEDIMENT CONTROL PLAN

REVISION	DATE	BY	CHKD
1	6/18/18	MD	MD
2	7/25/18	MD	MD
3	8/1/18	MD	MD
4	8/1/18	MD	MD
5	8/1/18	MD	MD
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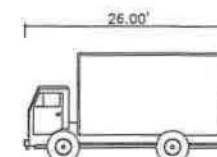
C-08



FIRE TRUCK
N.T.S.

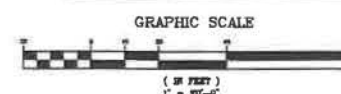


REFUSE PICK UP TRUCK
N.T.S.



DELIVERY TRUCK
N.T.S.

LEGEND	
	FIRE TRUCK WHEEL PATH
	REFUSE PICK UP TRUCK WHEEL PATH
	REFUSE PICK UP TRUCK WHEEL PATH (REVERSE)
	DELIVERY TRUCK WHEEL PATH



L2A
LAND DESIGN, LLC

60 GRAND AVENUE
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201.981.1000 • 201.981.1001 (FAX)
www.l2a.com
New Jersey Certificate of Professional Engineer No. 240020000

Michael E. Dipple, P.E.

New Jersey Professional Engineer No. 240020000

OWNER/CLIENT
KIDGE CREST REAL ESTATE, LLC
1800 S. BRAND BOULEVARD
SUITE 203
GLENNDALE, CA 91204
323.450.2331 (OFFICE)

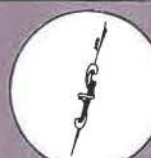
ARCHITECT
HUNNO & WASKO ARCHITECTS AND
PLANNERS
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973.625.4122 (FAX)

DATE	DESCRIPTION
7/25/18	REVISED PER REGION 50A CONCERNING REGION 50A COMMENTS DATED 7/11/18
8/22/18	REVISED PER REGION 50A CONCERNING REGION 50A COMMENTS DATED 7/11/18
11/9/18	REVISED PER REGION 50A CONCERNING REGION 50A COMMENTS DATED 7/11/18
1/2/19	REVISED PER REGION 50A CONCERNING REGION 50A COMMENTS DATED 7/11/18
2/26/19	REVISED PER REGION 50A CONCERNING REGION 50A COMMENTS DATED 7/11/18
3/4/19	REVISED PER REGION 50A CONCERNING REGION 50A COMMENTS DATED 7/11/18

PROJECT LOCATION
THE MANOR AT MONTVALE
21 PHILIPS PARKWAY
BOROUGH OF MONTVALE
BERGEN COUNTY, NEW JERSEY

BLOCK 3201, LOT 4
TAX MAP: 22



VEHICLE
CIRCULATION
PLAN

SCALE	REFER TO PLAN
DATE	6/18/18
DESIGNED	JOF
APPROVED	MEG
L2A PROJECT NO.	1701.120
DRAWING NO.	C-09

[Signature]
1/20

Michael E. Dipeolu, P.E.
Professional Engineer No. 40888-1396
State of California, License No. 40888-1396

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MINNO & WARD ARCHITECTS AND PLANNERS
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LAUREL SURVEYING
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ROCKAWAY, NJ 07866
973.825.5630 (PHONE)
973.825.5121 (FAX)

DATE: 1/20/18
BY: M.E.D.
CHECKED: 1/20/18
BY: M.E.D.
APPROVED: 1/20/18
BY: M.E.D.

NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
1	REVISED FOR GREEN COUNTY S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		
2	REVISED FOR BOROUGH OF MORTVILLE S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		
3	REVISED FOR BOROUGH OF MORTVILLE S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		
4	REVISED FOR BOROUGH OF MORTVILLE S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		
5	REVISED FOR BOROUGH OF MORTVILLE S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		
6	REVISED FOR BOROUGH OF MORTVILLE S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		
7	REVISED FOR BOROUGH OF MORTVILLE S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		
8	REVISED FOR BOROUGH OF MORTVILLE S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		
9	REVISED FOR BOROUGH OF MORTVILLE S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		
10	REVISED FOR BOROUGH OF MORTVILLE S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		
11	REVISED FOR BOROUGH OF MORTVILLE S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		
12	REVISED FOR BOROUGH OF MORTVILLE S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		
13	REVISED FOR BOROUGH OF MORTVILLE S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		
14	REVISED FOR BOROUGH OF MORTVILLE S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		
15	REVISED FOR BOROUGH OF MORTVILLE S&P CONSTRUCTION PERMITS	1/20/18	M.E.D.		

THE MANOR AT MORTVILLE
21 PHILLIPS PARKWAY
BOROUGH OF MORTVILLE
BERGEN COUNTY, NEW JERSEY

BLDG: 3301, LOT 4
TAX MAP: 37

DATE: 1/20/18
BY: M.E.D.
CHECKED: 1/20/18
BY: M.E.D.
APPROVED: 1/20/18
BY: M.E.D.

SOIL MOVEMENT PLAN



SCALE: 1" = 100'

DATE: 1/20/18
BY: M.E.D.
CHECKED: 1/20/18
BY: M.E.D.
APPROVED: 1/20/18
BY: M.E.D.

DATE: 1/20/18
BY: M.E.D.
CHECKED: 1/20/18
BY: M.E.D.
APPROVED: 1/20/18
BY: M.E.D.

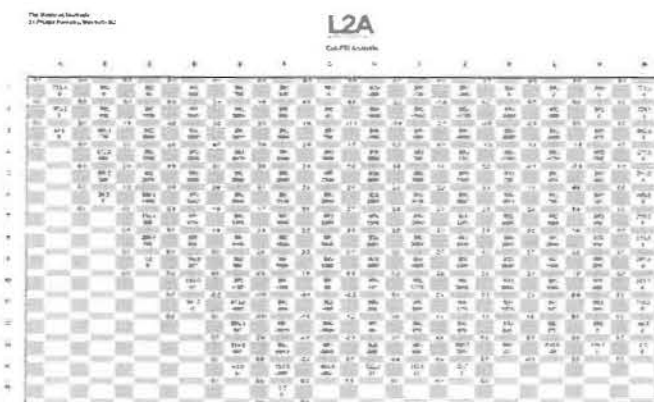
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BY: M.E.D.
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BY: M.E.D.
APPROVED: 1/20/18
BY: M.E.D.

DATE: 1/20/18
BY: M.E.D.
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BY: M.E.D.
APPROVED: 1/20/18
BY: M.E.D.

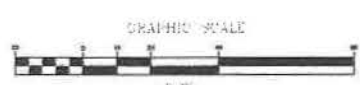
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BY: M.E.D.

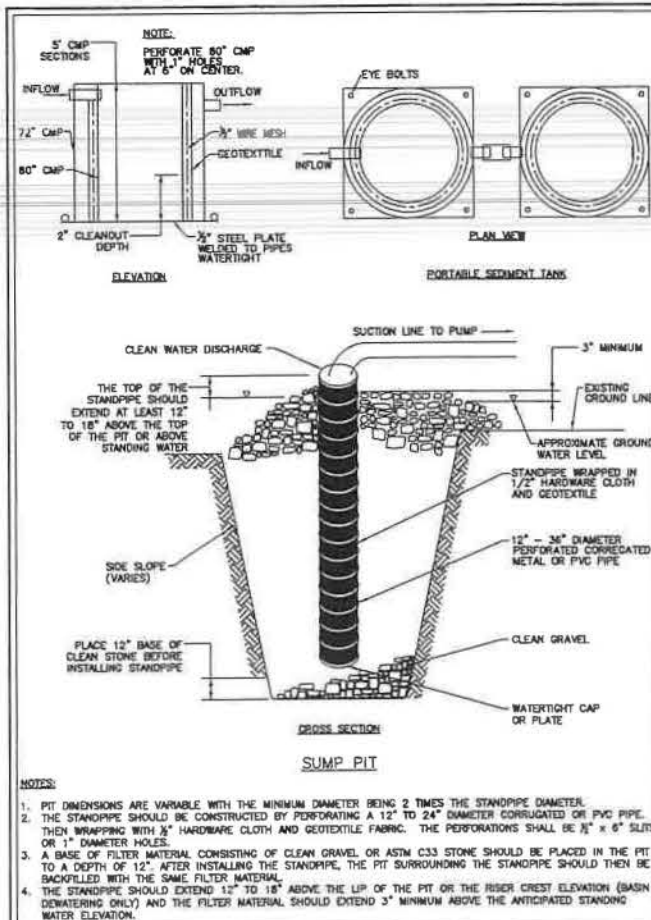
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BY: M.E.D.
CHECKED: 1/20/18
BY: M.E.D.
APPROVED: 1/20/18
BY: M.E.D.

DATE: 1/20/18
BY: M.E.D.
CHECKED: 1/20/18
BY: M.E.D.
APPROVED: 1/20/18
BY: M.E.D.

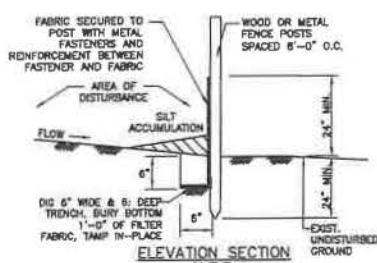
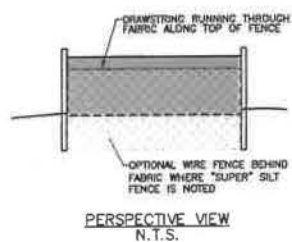


SOIL IMPORT/EXPORT CALCULATION
1. FROM CUT-FILL GRID ABOVE: 4,361 CY (FILL)
2. ADDITIONAL CUT FOR:
ASPHALT DEPTH
UTILITIES
BUILDING FOUNDATION
STORM DRAINAGE
STORM DRAINAGE
STORM DRAINAGE
3. TOTAL ANTICIPATED SOIL IMPORT: ±3,561 CY (FILL)





DEWATERING



- NOTES:**
- PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLANS.
 - THE SLOPE OF THE LAND FOR AT LEAST THIRTY (30'-0") FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED FIVE (5%) PERCENT.
 - SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS AROUND THE SIDES OF THE FENCE.
 - INSPECTION SHALL BE FREQUENT & REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
 - SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE SOIL CONSERVATION DISTRICT.
 - "SUPER" SILT FENCE - A METAL FENCE WITH 6 INCH OF SMALLER MESH OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC. POSTS MAY BE SPACED LESS THAN 8 FEET ON CENTER AND MAY BE CONSTRUCTED OF HEAVY WOOD OR METAL AS NECESSARY TO WITHSTAND HEAVIER SEDIMENT LOADING. THIS PRACTICE IS APPROPRIATE WHERE SPACE FOR OTHER PRACTICES IS LIMITED & HEAVY SEDIMENT LOADING IS EXPECTED. "SUPER" SILT FENCE IS NOT TO BE USED IN PLACE OF PROPERLY DESIGNED DIVERSIONS WHICH MAY BE NEEDED TO CONTROL SURFACE RUNOFF RATES & VELOCITIES.

SILT FENCE / SUPER SILT FENCE

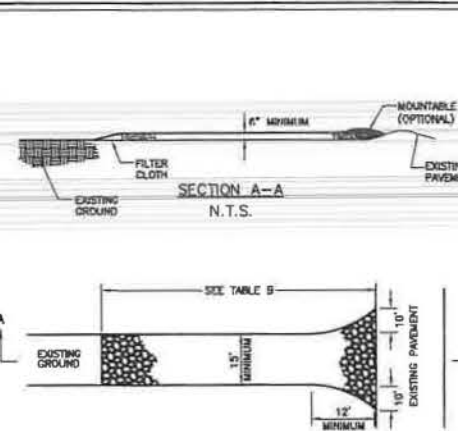


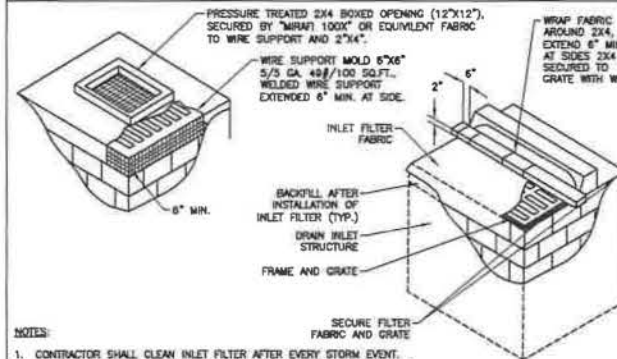
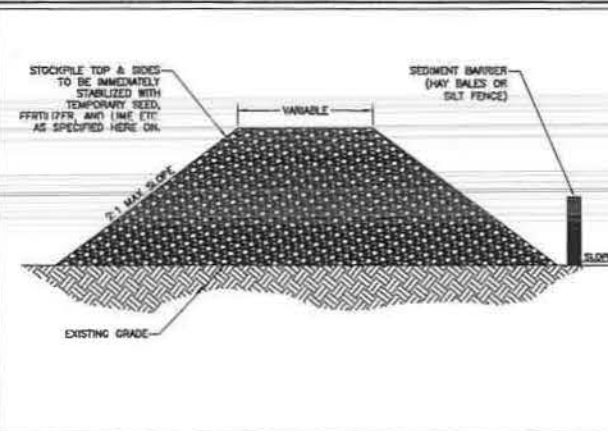
TABLE B

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED
0 TO 2%	50 FEET
2 TO 4%	100 FEET
4 TO 6%	150 FEET
6 TO 8%	200 FEET
8 TO 10%	250 FEET
10 TO 12%	300 FEET
12 TO 14%	350 FEET
14 TO 16%	400 FEET
16 TO 18%	450 FEET
18 TO 20%	500 FEET
20 TO 22%	550 FEET
22 TO 24%	600 FEET
24 TO 26%	650 FEET
26 TO 28%	700 FEET
28 TO 30%	750 FEET
30 TO 32%	800 FEET
32 TO 34%	850 FEET
34 TO 36%	900 FEET
36 TO 38%	950 FEET
38 TO 40%	1000 FEET

AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

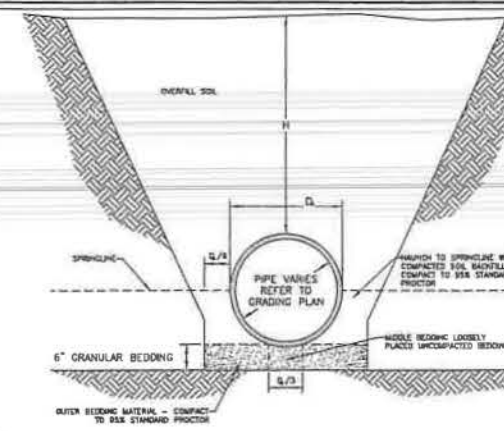
- NOTES:**
- USE ASTM C-33 SIZE NO. 2 (2-1/2 TO 1-1/2 IN) OR NO. 3 (2 TO 1 IN). USE CLEAN CRUSHED ANGULAR STONE. CRUSHED CONCRETE OF SIMILAR SIZE MAY BE SUBSTITUTED BUT WILL REQUIRE MORE FREQUENT UPGRADING AND MAINTENANCE.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 15 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE. FILTER CLOTH - TO BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - LENGTH - 50 FEET MINIMUM WHERE THE SOILS ARE COARSE-GRAINED (SAND OR GRAVELS) OR 100 FEET MINIMUM WHERE SOILS ARE FINE-GRAINED (CLAYS OF SILTS). EXCEPT WHERE THE TRAVELED LENGTH IS LESS THAN 50 OR 100 FEET RESPECTIVELY. (SEE TABLE B)
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE REMOVED IMMEDIATELY. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.
 - WHERE THE SLOPE OF THE ACCESS ROAD EXCEEDS SIX (6) PERCENT, A STABILIZED LOOSE COURSE OF FINE FINE AGGREGATE BITUMINOUS CONCRETE (FABC) SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE FABC AND USE OF A COARSE GRADED AGGREGATE SUB-BASE SHALL BE PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.

STABILIZED CONSTRUCTION ENTRANCE



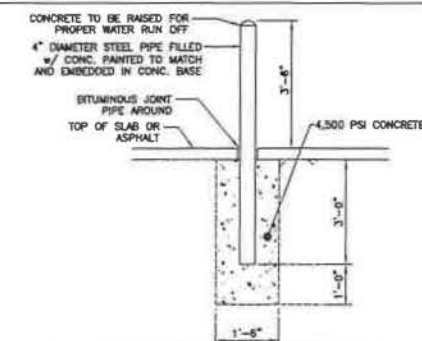
- NOTES:**
- CONTRACTOR SHALL CLEAN INLET FILTER AFTER EVERY STORM EVENT.
 - CONTRACTOR SHALL REMOVE FABRIC AND MESH JUST PRIOR TO PAVING.
 - IF BOTTOM OF ROADWAY BOX IS BELOW TOP OF GRATE, CONSTRUCT OPENINGS IN INLET WALL TO ALLOW WATER TO FLOW IN. COVER OPENINGS WITH WELDED WIRE SUPPORT AND FILTER FABRIC.
 - THIS PROTECTION DEVICE SHALL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1-YEAR, 24-HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.

INLET FILTER



- NOTES:**
- BEDDING BENEATH PIPE SHALL NOT BE REQUIRED WHERE DEPTH OF PIPE, 'Y' IS LESS THAN 8 FEET.
 - MATERIAL IN THE OUTER BEDDING AND HAUNCH, EXCEPT UNDER THE MIDDLE 1/3 OF THE PIPE, SHALL BE COMPACTED TO AT LEAST THE SAME COMPACTION AS THE MAJORITY OF SOIL IN THE OVERFILL ZONE.
 - FOR TRENCHES, WIDTH SHALL BE WIDER THAN SHOWN IF REQUIRED FOR ADEQUATE SPACE TO ATTAIN THE SPECIFIED COMPACTION IN THE HAUNCH AND BEDDING ZONES.

PIPE BEDDING & MATERIALS

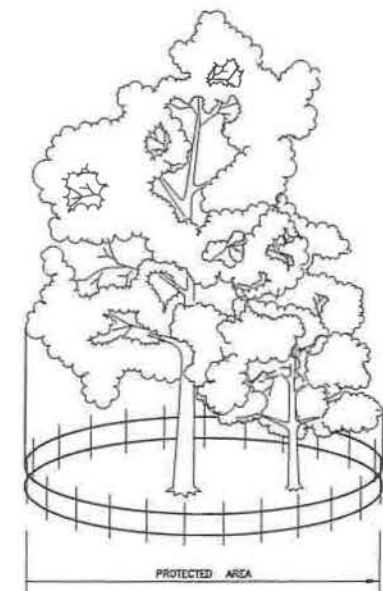


CONCRETE BOLLARD

PLANTING SPECIFICATIONS

- SCOPE OF WORK
 - THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- MATERIALS
 - GENERAL - ALL MATERIALS SHALL BE BEST OF ITS KIND AVAILABLE.
 - PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
 - TOPSOIL - ORGANIC TOPSOIL, FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
 - MULCH - DOUBLE SHREDDED WOODWOOD BARK, MULCH.
- FERTILIZER AND SOIL CONDITIONER
 - ORGANIC FERTILIZER - SHALL BE PROCESSED SEWER SLUDGE, WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO 'NITROHUMUS'.
 - ORGANIC FERTILIZER AND SOIL CONDITIONER - SHALL BE 'GRO-POWER' AND ORGANIC BASE MATERIALS COMPRISED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY, ANIMAL OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1) NITROGEN 5%, PHOSPHATE 3%, POTASH 1%, SOIL HUMUS AND 15% HUMIC ACIDS.
- GENERAL WORK PROCEDURES
 - LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING.
 - WEEDING: BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
 - TOPSOILING: CONTRACTOR TO PROVIDE FOUR INCHES (4") MINIMUM THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A FOUR INCH (4") COMPACTED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM.
- SOIL CONDITIONING
 - CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
 - SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.: 150 POUNDS 'GRO-POWER' 100 POUNDS AGRICULTURAL GYPSUM 20 POUNDS NITROFORM (COURSE) 30-0-0 BLUE CHIP SOIL MODIFICATIONS:
 - THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. USE COMPOSTED BARK, RECYCLED YARD WASTE, PEAT MOSS, OR MUNICIPAL PROCESSED SEWAGE SLUDGE. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. RECYCLED MATERIAL BY THE SUPPLIER. AVOID MATERIAL WITH A pH HIGHER THAN 7.5. MOODY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 50% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES. MOODY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 50% OF THE TOTAL MIX.
 - PLANTING - POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS. MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
 - PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH WIDTH 1 1/2 TIMES THE DIAMETER OF ROOT BALL AND 3" DEEPER THAN THE LENGTH OF ROOT BALL. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY: -1 PART PEATMOSS, 1 PART COM MANURE BY VOLUME, 3 PARTS TOPSOIL BY VOLUME, 21 GRAIN 'AGRIFORM' PLANTING TABLETS AS FOLLOWS: -2 TABLETS PER 1 GAL. PLANT, 3 TABLETS PER 5 GAL. PLANT; (FOR LARGER PLANTS USE TWO (2) TABLETS PER 1/2" DIA. OF TRUNK CALIPER) B. PREPARED SOIL SHALL BE TAMPORED FINELY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
 - ALL PLANTS SHALL BE SET SO THAT THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPLANTED.
 - IMMEDIATELY AFTER PLANTING, STAKE ALL TREES TO PREVENT DAMAGE FROM WIND (LOOSE-POLE STAKES LENGTH AS REQUIRED). POSITION TREES TO UPPER END OF STAKE IN AT LEAST TWO (2) PLACES USING HOSE TYPE TIES. GUY AND STAKE TREES 3 DIRECTIONS WITH GALVANIZED WIRE, THROUGH FLEXIBLE HOSE CHAFING GUARDS, WITH WOODEN STAKE ANCHORS. WRAP TREE TRUNK FROM GROUND TO FIRST BRANCH WITH TREE WRAPPING TAPE.
 - PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE.
 - WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
 - PRUNE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MIN. OF 7' BRANCHING HEIGHT.
- GROUND COVER
 - ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
 - SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
 - IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
 - ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.
- FINISH GRADING
 - ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS 1 FOOT OF FINISH GRADE.
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- GUARANTEE: CONTRACTOR SHALL GUARANTEE ALL PLANTS AND LAWN FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB.
- CLEANUP: UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BRIDEN CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SALKERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTAIN LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRASSING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF GROSS OR SARE AREAS.
- MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 60-DAY MAINTENANCE PERIOD.

PLANTING SPECIFICATIONS



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New Jersey Certificate of Authorization No. 2402031000

Michael E. Dipole, P.E.

New Jersey Professional Engineer #3705481208

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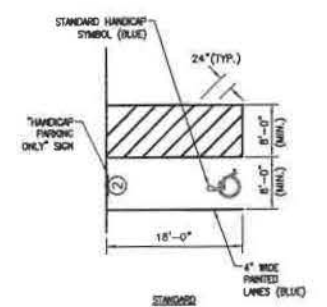
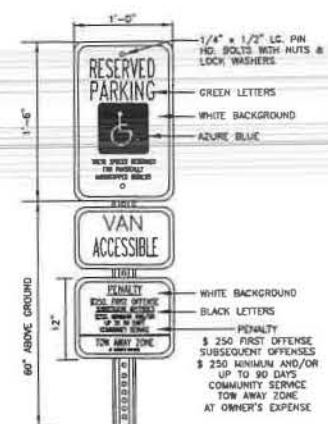
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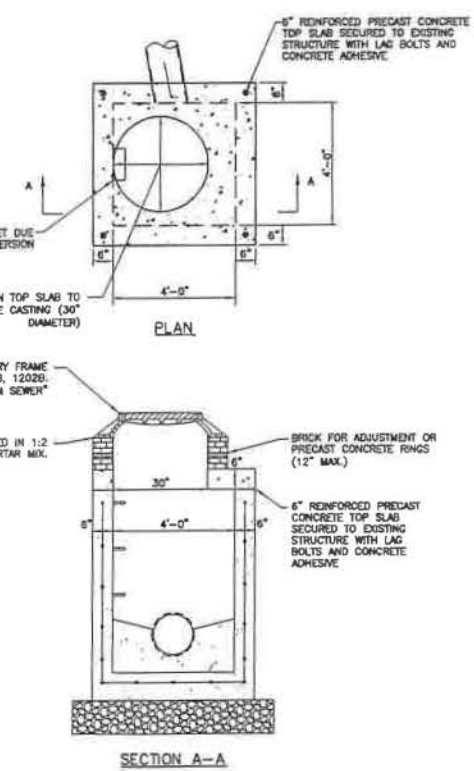
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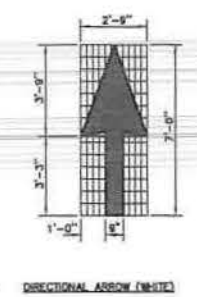
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HANDICAP SIGN & STRIPING

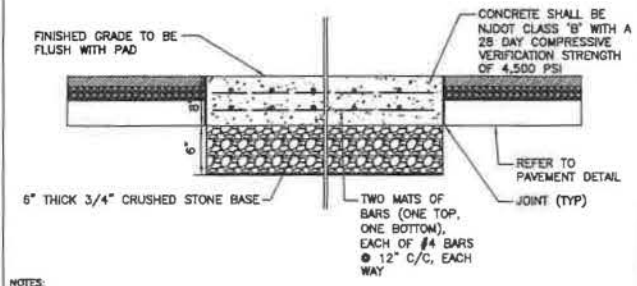


CONVERSION OF INLET TO MANHOLE



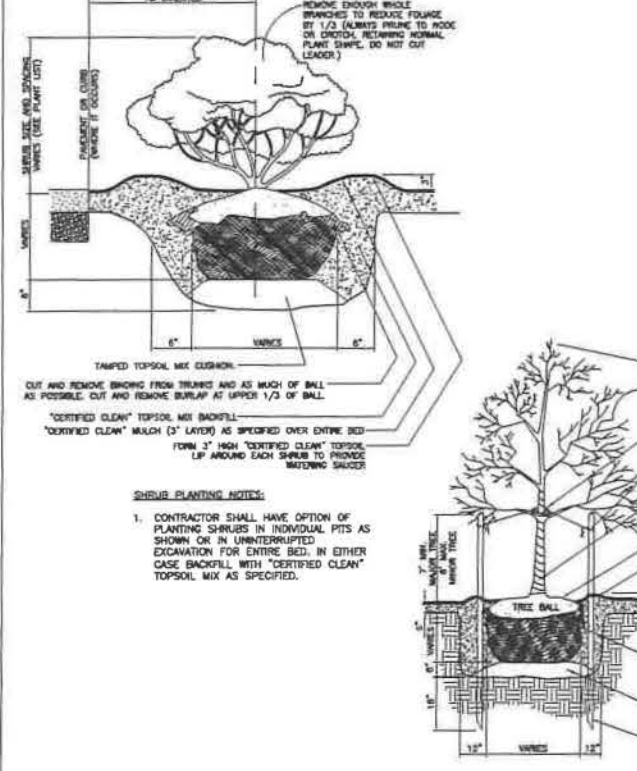
- NOTES:
1. THE CONTRACTOR MAY APPLY WHITE, BLUE AND YELLOW PAINT, UTILIZING ROLLERS AND/OR BRUSHED FOR MARKING CORE AREAS, TURN ARROWS, LETTERS, STOP SIGNS AND SHORT TEMPORARY DETOURS.
 2. NORMAL SPREADING RATES FOR PAVEMENT MARKING PAINTS SHALL BE FROM 100 TO 115 SQUARE FEET PER GALLON SO AS TO OBTAIN A WET FILM THICKNESS OF +/- 15 MILS.

PAVEMENT TEXT & ARROWS

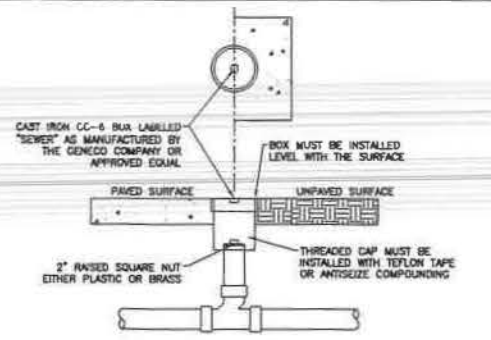


- NOTES:
1. MINIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT, UNLESS OTHERWISE INDICATED ON DRAWINGS.
 2. PROVIDE 1/2" WIDE PREFORMED EXPANSION JOINT FILLER AT 20' INTERVALS. FILLER TO BE PREFORMED BITUMINOUS-IMPREGNATED TYPE, CONFORMING TO A.A.S.H.T.O. SPECIFICATIONS AND RECESSED 1/4".
 3. REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
 4. SURFACE SHALL HAVE LIGHT BROOM FINISH.

CONCRETE SLAB ON GRADE DETAIL

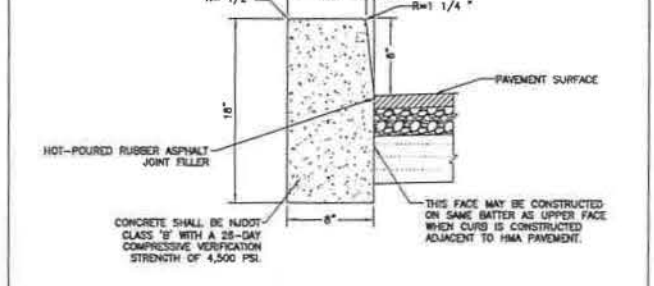


SHRUB, DECIDUOUS, AND EVERGREEN TREE PLANTINGS



- NOTES:
1. AT LEAST ONE CLEANOUT MUST BE PROVIDED ON EACH LATERAL.
 2. A CLEANOUT WILL BE PROVIDED FOR EACH LATERAL BETWEEN THE CURB AND THE SIDEWALK.
 3. IN GENERAL, OWNERSHIP AND MAINTENANCE OF LATERALS AND CLEANOUTS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 4. THE LOCATION OF ALL CLEANOUTS MUST BE APPROVED BY THE TOWNSHIP PLUMBING DEPARTMENT.
 5. ALL CLEANOUTS LOCATED WITHIN PAVEMENT OR CONCRETE MUST BE PROTECTED WITH A CC-8 BOX.

STANDARD PIPE CLEANOUT

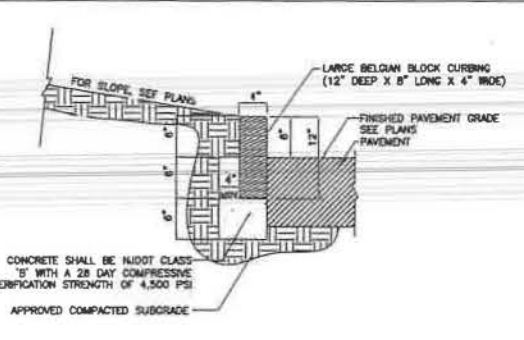


- NOTES:
1. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE SO ARRANGED THAT THEY MATCH EXPANSION JOINTS IN ADJACENT CONCRETE PAVEMENTS AND SIDEWALKS.
 2. JOINTS SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF MSHTO M-213, RECESSED 1/4" FROM THE FRONT FACE AND TOP OF CURB.

CONCRETE VERTICAL CURB

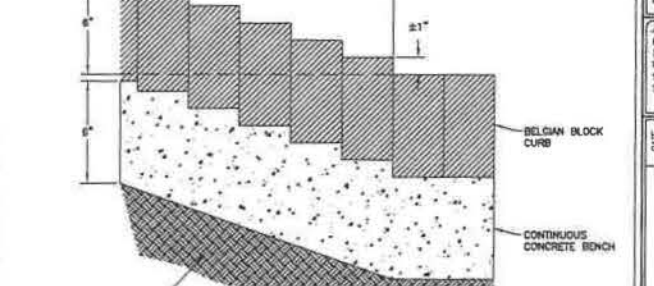


CONCRETE CURB & PAVEMENT INSTALLATION

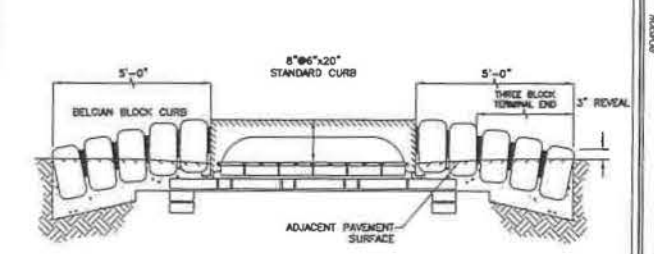


- NOTES:
1. JOINTS SHALL BE NO WIDER THAN 1/2" AND SHALL NOT BE MORTARED.
 2. JOINTS SHALL BE NO WIDER THAN 2" AND SHALL BE MORTARED. JOINTS SHALL BE FULLY FILLED WITH 1:2 CEMENT MORTAR, NEATLY POINTED AND CLEANED OF EXCESS MORTAR.

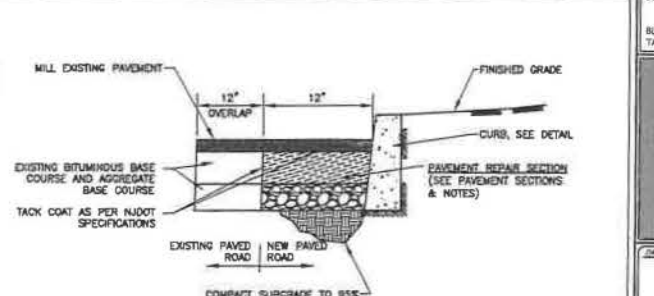
BELGIAN BLOCK CURB



DEPRESSED BELGIAN BLOCK CURB



BELGIAN BLOCK HEADER CURB



CONCRETE CURB & PAVEMENT INSTALLATION

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CLIENT:
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 973.325.4121 (FAX)

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PROJECT:
 THE MANOR AT MONTVILLE
 21 PHILIPS PARKWAY
 BOROUGH OF MONTVILLE
 BERGEN COUNTY, NEW JERSEY
 BLOCK 3201, LOT 4
 TAX MAP: 32

SCALE: REFER TO PLAN
DATE: 5/18/18
DESIGNED: JDF
APPROVED: MED
L2A PROJECT NO.: 1701.120
DATE: 5/18/18

DETAILS - 3
C-14

